

Bid Set 4.15.24

ABBREVIATIONS

#	Number
&	And
AT	Acoustic Ceiling Tile
AD	Area Drain
AFF	Above Finished Floor
ALUM	Aluminum
ANOD	Anodized
BASEM	Basement
BYOND	Beyond
BTM	Bottom
CAST	Cast In Place
CHNL	Channel
CTL	Control Joint
CEILING	Ceiling
CLR	Clear
CMU	Concrete Masonry Unit
COL	Column
CONC	Concrete
CONT	Continuous
CT	Ceramic Tile
DPL	Double
DEM	Demolish or Demolition
DIAM	Diameter
DM	Dimension
DM5	Dimensions
DN	Down
DR	Door
DWG	Drawing
EA	Each
ET	Expansion Joint
EL	Elevation
ELEC	Electrical
ELEV	Elevator or Elevation
EPM	Ethylene Propylene Diene M-Glass (Roofing)
EQ	Equal
EXIST	Existing
EXT	Exterior
FD	Floor Drain
FEG	Fire Extinguisher Cabinet
FIX	Fixture
FLR	Floor
FM	Filled Metal
FO	Face Of
FND	Foundation
FV	Field Verify
GA	Gauge
GALV	Galvanized
GWB	Gypsum Wall Board
HC	Hollow Core
HI	High
HM	Hollow Metal
HP	High Point
HR	Hour
HVAC	Heating, Ventilating, & Air Conditioning
LD	In Lieu Of
INSUL	Insulated or Insulation
INT	Interior
LD	Low
MAX	Maximum
MO	Masonry Opening
MECH	Mechanical
MEMBR	Membrane
MIN	Minimum
MRES	Moisture-Resistant Gyp. Wall Board
MIL	Metal
NI	Not In Contract
NO	Number
NOM	Nominal
OC	On Center
OZ	Ounce
PC	Pre-Cast Concrete
PLUMB	Plumbing
PLYD	Plywood
PTWD	Pressure Treated Wood
PT	Paint or Painted
PVC	Polyvinyl Chloride
RBR	Rubber
RCP	Reflected Ceiling Plan
RD	Root Drain
REQD	Required
RM	Room
SM	Similar
SPEC	Specified OR Specification
SPK	Sprinkler or Speaker
SSL	Stainless Steel
STC	Sound Transmission Coefficient
STL	Steel
STRUCT	Structure or Structural
T&G	Tongue And Groove
TELE	Telephone
TLF	Toilet
TO	Top Of
TOC	Top Of Concrete
TOS	Top Of Steel
TPD	Toilet Paper Dispenser
T/D	Telephone/Data
TYP	Typical
UNO	Unless Noted Otherwise
U/S	Underside
VP	Vision Panel
w/	With
WD	Wood

Heartland Education Parking Lot Replacement

700 Jupiter Ave. - Salina, Kansas 67401



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CONSULTANTS

SHEET INDEX

GENERAL:
 G100: COVER SHEET

ARCHITECTURAL:
 A5100: NORTH PARKING LOT PLAN
 A5101: SOUTH PARKING LOT PLAN
 A5100: STANDARD CITY APPROACH DETAILS

CODE:

2012 International Building Code
 2012 Uniform Mechanical Code (UPMC)
 2012 Uniform Plumbing Code (UPC)
 2011 National Electrical Code
 2012 International Fire Code
 2009 International Energy Code
 Americans with Disabilities Act
 Kansas Fire Prevention Code

SITE LOCATION MAP

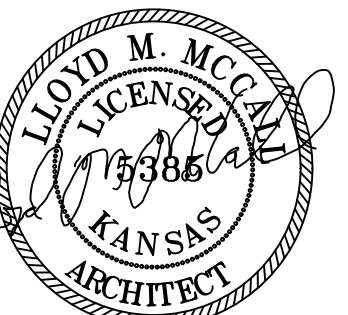
NOT TO SCALE



Revisions:



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04/15/2024

Heartland Early Education
 700 Jupiter Ave.
 Salina, KS 67401

Drawing:
Cover Page

Date:
 04-15-2024

Project Number:
 24-011

SHEET NUMBER:

G100

DRAWN BY: Mic

GENERAL NOTES

Standard and Regulations:

- CONTRACTOR SHALL PERFORM ALL WORK IN CONFORMANCE WITH APPLICABLE BUILDING CODES, REGULATIONS, ORDINANCES, UTILITY PROVIDER REQUIREMENTS, AND SIMILAR STANDARDS.
- CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS AND SIMILAR RELEASES REQUIRED FOR CONSTRUCTION AND OCCUPANCY. CONTRACTOR SHALL FURNISH ALL COPIES OF SUCH ITEMS TO OWNER AND ARCHITECT WITHIN 10 DAYS OF RECEIPT. IF PERMITS ARE ISSUED SUBJECT TO CERTAIN CONDITIONS OR REVISIONS TO THE WORK OR PERMITS ARE DELAYED FOR ANY REASON, CONTRACTOR SHALL NOTIFY ARCHITECT IMMEDIATELY.
- CONTRACTOR SHALL OBTAIN ALL REQUIRED INSPECTIONS OF THE WORK. CONTRACTOR SHALL REGULARLY UPDATE OWNER AND ARCHITECT REGARDING THE STATUS OF THE INSPECTIONS.
- CONTRACTOR SHALL COORDINATE WORK WITH APPLICABLE UTILITY PROVIDERS.
- CONTRACTOR SHALL BE FAMILIAR WITH ALL WORK AND WORK SHALL BE IN COMPLIANCE WITH REFERENCED PRE-RATED ASSEMBLY TESTS AND STANDARDS.

USE OF CONSTRUCTION DOCUMENTS:

- CONTRACTOR SHALL NOT SCALE DRAWINGS. ONLY WRITTEN DIMENSIONS OR KEYED NOTES SHALL BE USED. CONTACT ARCHITECT IF CLARIFICATION OR ADDITIONAL INFORMATION IS REQUIRED.
- DRAWINGS SHALL NOT BE REPRODUCED FOR SUBMITTALS. DRAWINGS OR PORTIONS OF DRAWINGS USED FOR SUBMITTALS WILL BE REJECTED AND RETURNED TO THE CONTRACTOR.
- DIMENSIONS ARE AS FOLLOWS UNLESS NOTED OTHERWISE NOTED.

GENERAL CONSTRUCTION ISSUES:

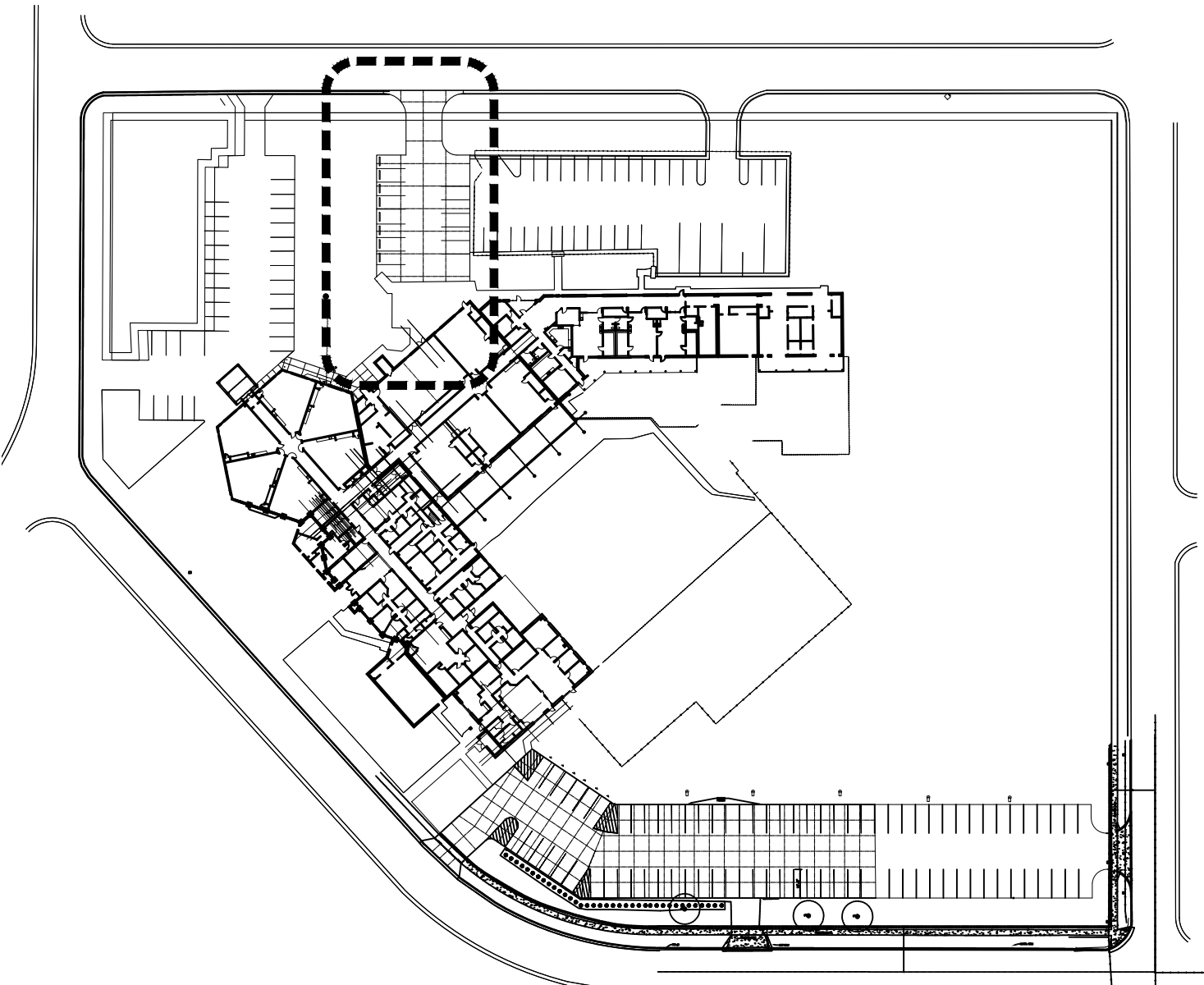
- ALL DOCUMENTATION AND DRAWINGS HAVE BEEN TAKEN FROM PREVIOUS WORKING DRAWINGS. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS PRIOR TO BIDDING AND STARTING WORK.
- KEEP CONSTRUCTION AREA CLEAN OF CONSTRUCTION DEBRIS ON A DAILY BASIS.

SPECIAL INSPECTION NOTES:

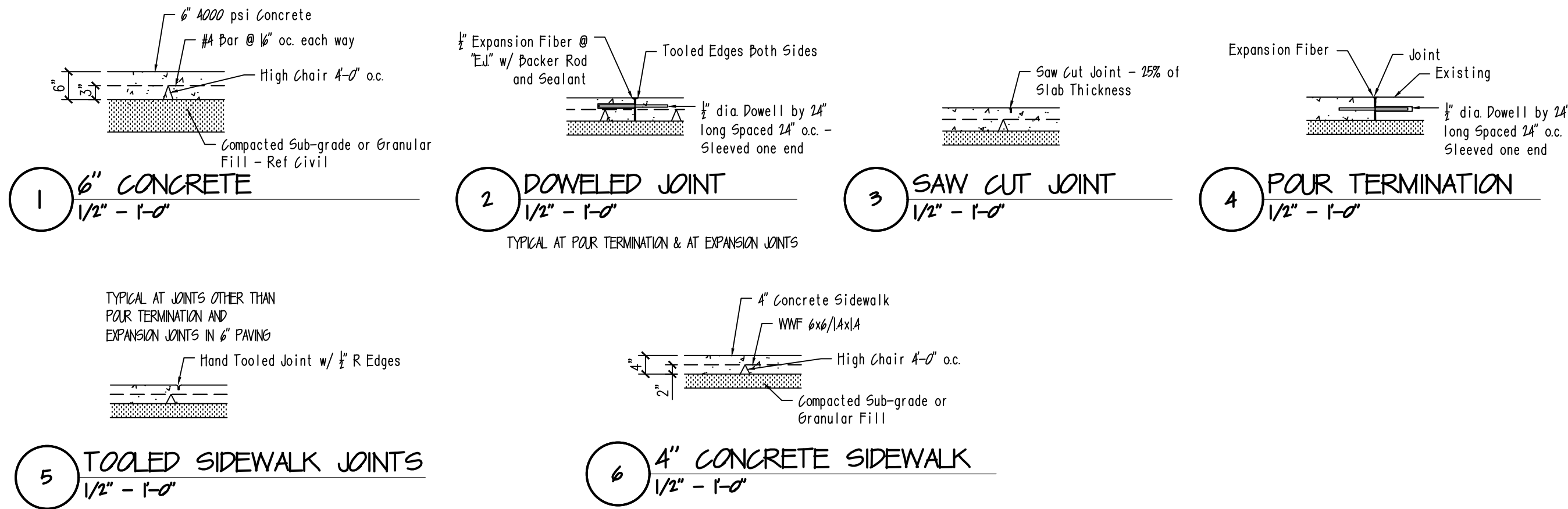
- SPECIAL INSPECTIONS SHALL BE PROVIDED BY THE OWNER OR OWNER'S REPRESENTATIVE MEETING THE REQUIREMENTS OF CHAPTER 17 OF THE CODE.
- THE SPECIAL INSPECTOR SHALL OBSERVE THE WORK ASSIGNED FOR CONFORMANCE TO APPROVED DESIGN DRAWINGS, SPECIFICATIONS AND CODE PROVISIONS.
- THE SPECIAL INSPECTOR SHALL BE APPROVED BY THE OWNER, BUILDING OFFICIAL, ARCHITECT AND LICENSED DESIGN ENGINEER AND FURNISH THE CODE REQUIRED REPORTS IN A TIMELY MANNER TO THE BUILDING OFFICIAL, ARCHITECT AND ENGINEER.
- SPECIAL INSPECTIONS AS REQUIRED BY CODE.
 - A. CONCRETE: SECTION 1093 AND TABLE 1093 (PERIODIC)
 - B. SOILS: SECTION 1094.

ADMINISTRATION OF THE WORK:

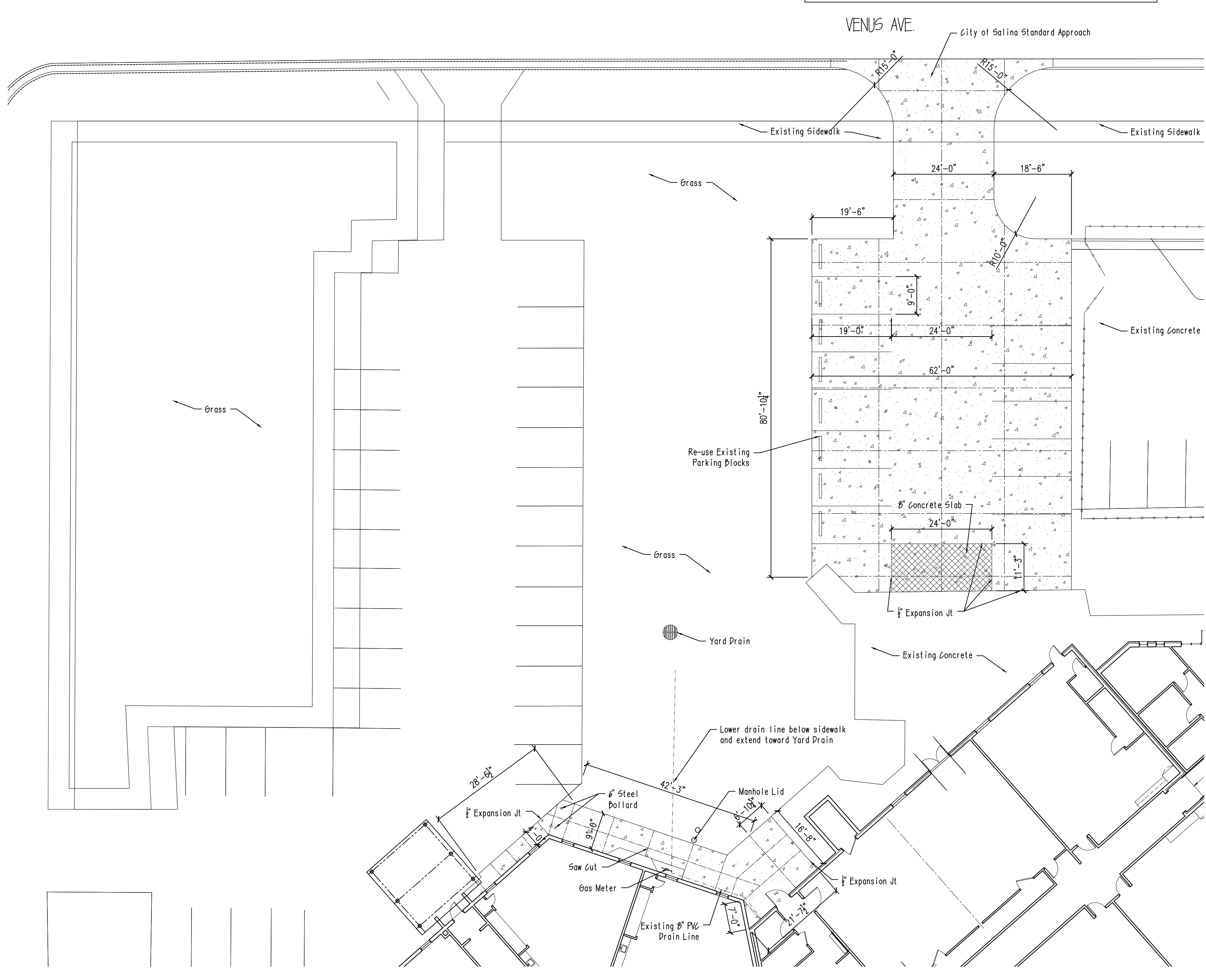
- CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE MEANS, METHODS AND SEQUENCES OF CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING COORDINATION EFFORTS OF ALL SUBCONTRACTORS.
- CONTRACTOR SHALL BECOME FAMILIAR WITH AND COMPLY WITH THE OWNER'S PROCEDURES FOR MAINTAINING A SECURE SITE AND BUILDING.



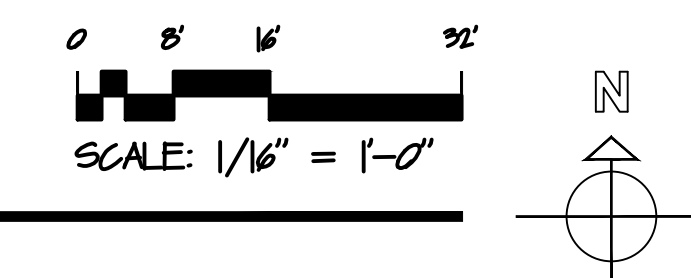
A2 KEY PLAN
NTS



Base bid # -
 Demo Existing parking lot
 6" Concrete with #4 Bar @ 16" o.c.
 6" Crushed Concrete Sub-base
 6" LVC Sub-grade
 Stripping of Parking Lot
 Grade and re-seed along parking lot as needed.



A1 NORTH PARKING LOT PLAN
1/16" = 1'-0"



Revisions:

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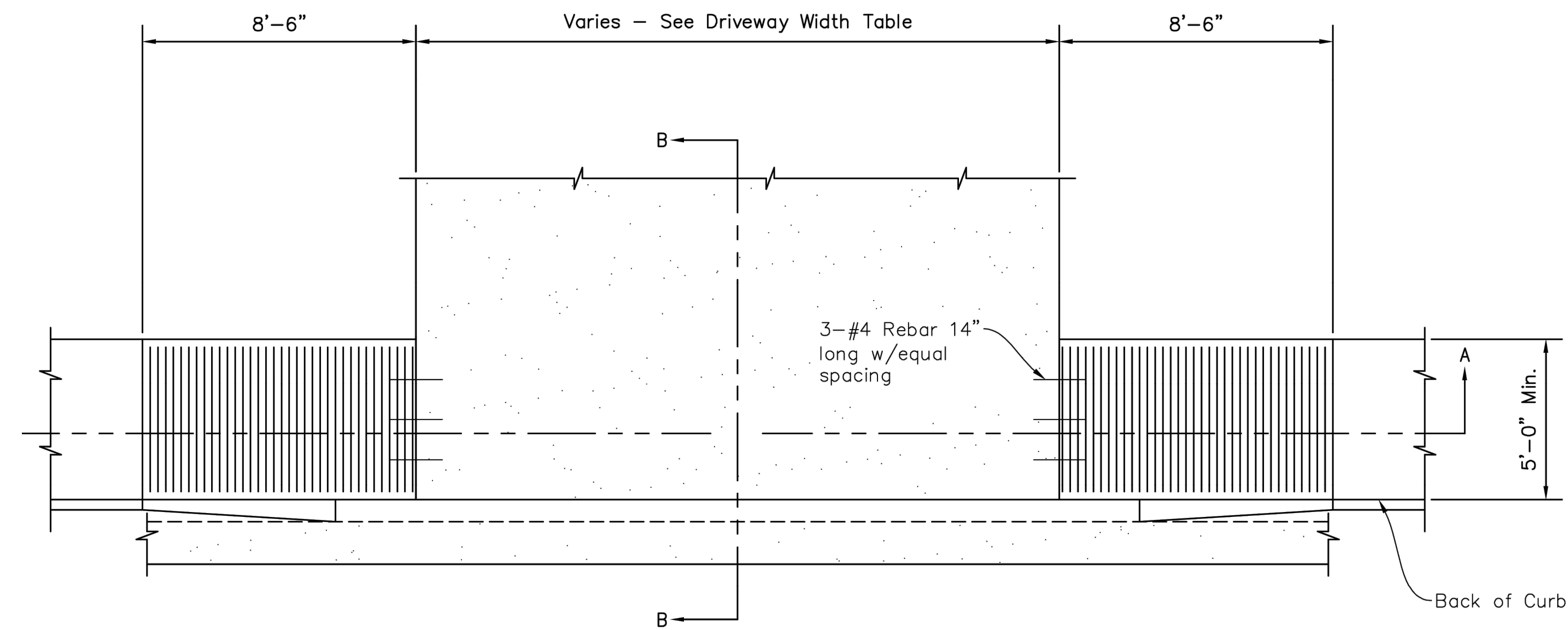
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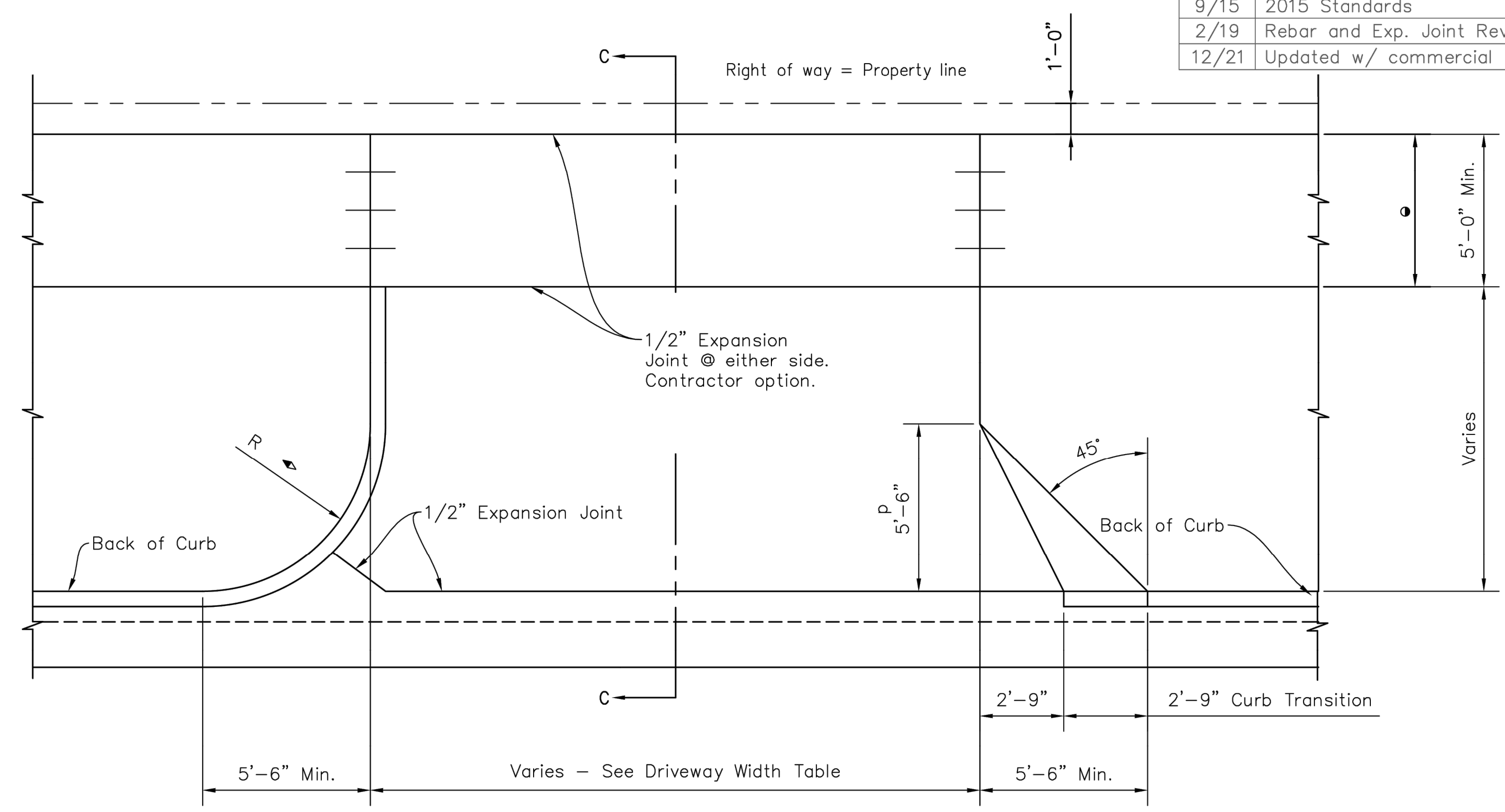
Drawing:
Site Plan

Date: 04-15-2024
 Project Number: 24-011
 SHEET NUMBER:
AS100
 DRAWN BY: Mic

DATE	REVISIONS
9/15	2015 Standards
2/19	Rebar and Exp. Joint Revision
12/21	Updated w/ commercial and industrial



TYPICAL DRIVEWAY w/ CURBSIDE SIDEWALK DETAIL

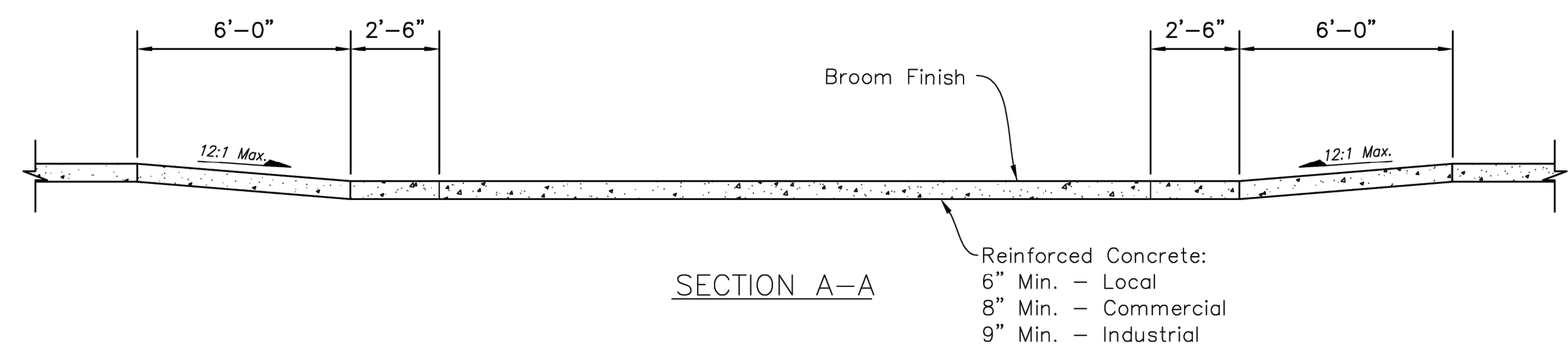


WITH RADIUS WITH 45° WING

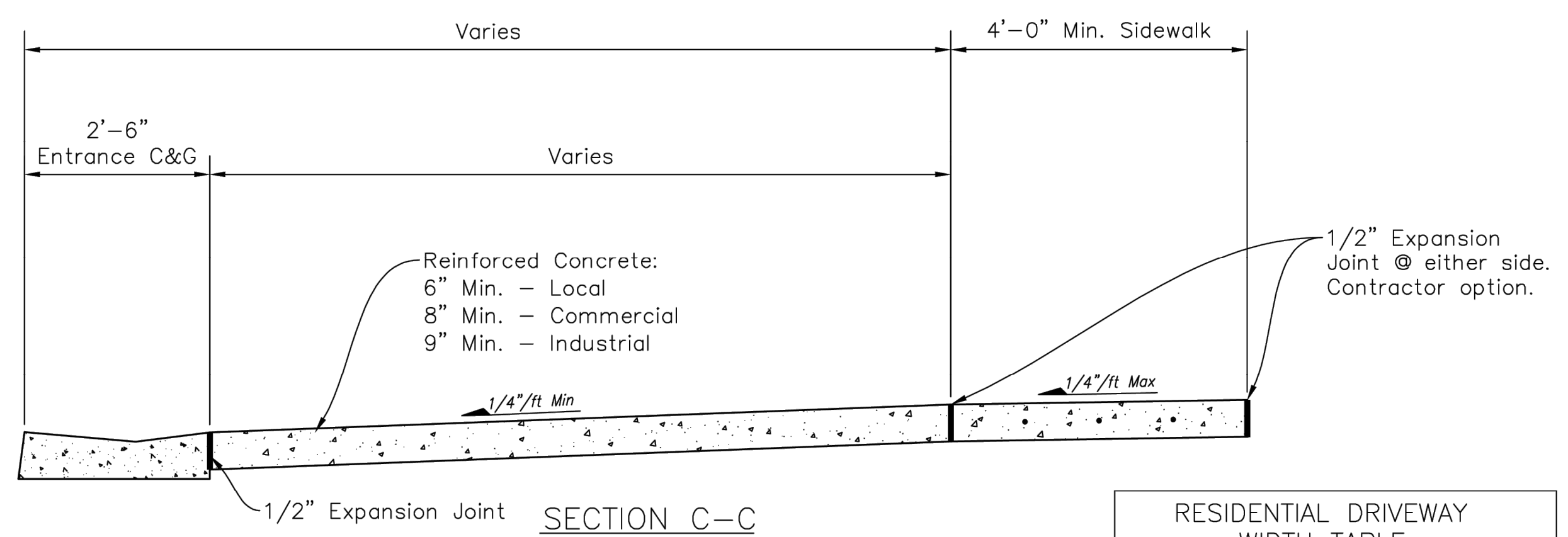
TYPICAL DRIVEWAY w/ PROPERTY LINE SIDEWALK DETAIL

● Match adjacent sidewalk width

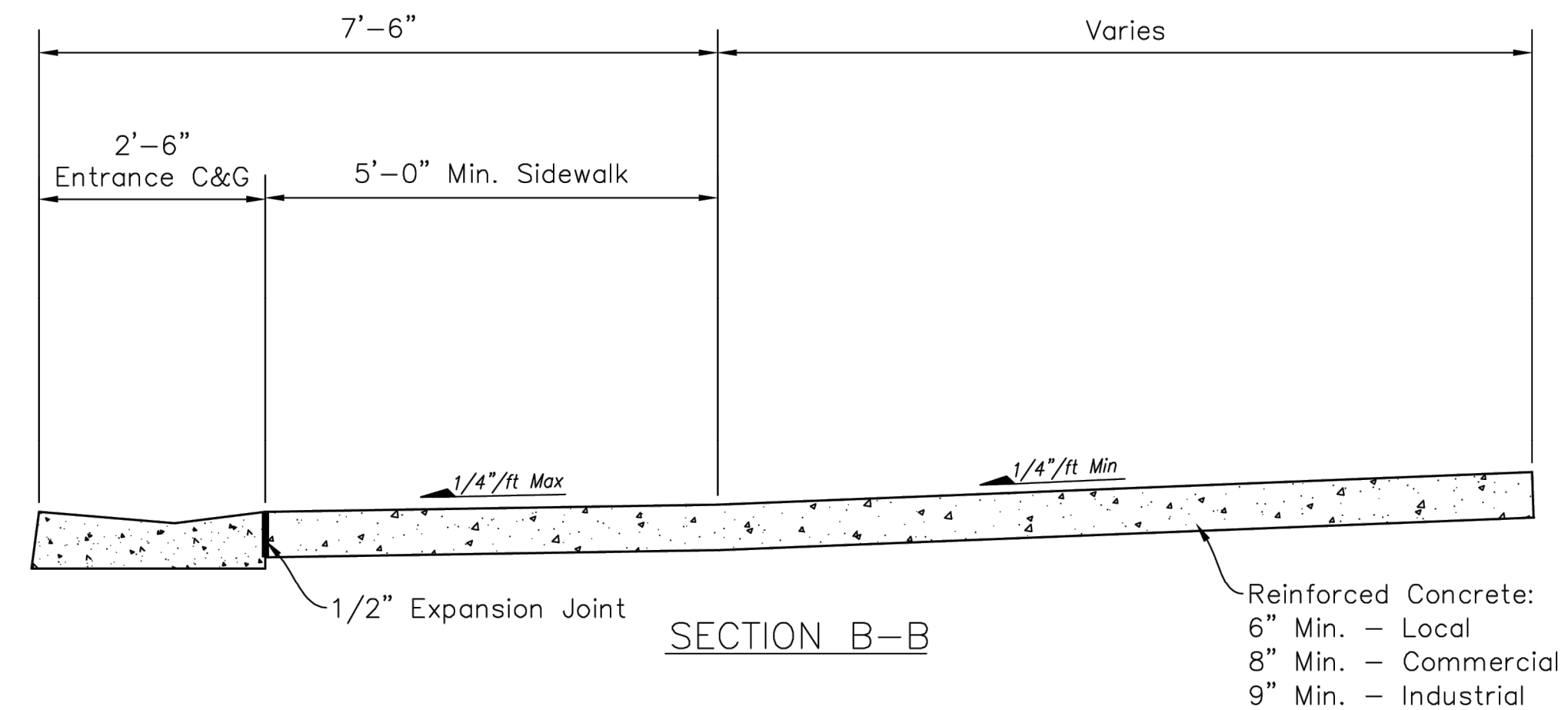
Driveway Type	Radius
Commercial	15' min.
Single Residential	5.5' min.
Double Residential	3' min.



SECTION A-A



SECTION C-C



SECTION B-B

GENERAL NOTES:

- All driveway approach construction shall be subject to City inspection at all times by the City Engineer or his representative.
- All driveway approach construction shall be placed normal to center line of roadway in a true and neat manner.
- All driveway approach construction shall be no less than 5'-6" from adjacent property unless with written consent from adjacent property owner.
- Before placement of concrete, the subgrade shall be thoroughly moistened. Concrete may not be placed on frozen or muddy subgrade or when ambient air temperature is 40° F. or less without adequate frost protection.
- All concrete within the right-of-way shall be placed with a minimum 4,000 psi concrete mix design. Upon placement of concrete, the surface shall be broom finished and protected against premature drying with white pigmented curing compound for a period no less than seven (7) days. (When the ambient air temperature is expected to remain at or below 40° F, the white pigmented curing compound will be substituted with thermal blankets).
- Entrance and driveway pavements shall have a uniform thickness:
 - Residential- 6" concrete and reinforced with a minimum 6X6- W1.4xW1.4 welded wire reinforcement. Approximate weight of welded wire mesh = 21 lbs. per 100 sq. ft.
 - Commercial- 8" min. concrete with #4 rebar mat.
 - Industrial- 9" min. concrete with #4 rebar mat.
- Expansion joints will be that of a preformed material, one half (1/2") thickness, and shall be placed wherever new work joins existing work; at ends of all driveway, alley and street returns where returns meet existing construction; and at intervals not to exceed one hundred fifty (150') feet for all straight runs.
- Concrete Pavement shall be jointed w/ 1/8" wide, T/3 depth, contraction joints not to exceed 10' x 10' slabs.

RESIDENTIAL DRIVEWAY WIDTH TABLE	
LOT WIDTH	MAXIMUM DRIVEWAY
50 ft or Less	20 ft
51 ft to 60 ft	24 ft
61 ft' to 74 ft	30 ft
75 ft or Greater	30 ft
*with front facing attached 3 car garage or carport	36 ft
Minimum Driveway Width = 8'-0"	

CITY OF SALINA, KANSAS PUBLIC WORKS - ENGINEERING - UTILITIES		
STANDARD DETAILS DRIVEWAY DETAILS		
PROJ. NO.	DATE	SHEET
FILENAME: 4_Driveway_Details/706.dwg	07/	4